REPORT OF FACILITY CONDITION ASSESSMENT



Davidson River School

Property Address: 970 Ecusta Road Brevard, NC 28712

Prepared For:

Transylvania County Board of Commissioners 101 South Broad Street Brevard, NC 28712

Prepared By:

Axias

Project No. GA23-017 February 26, 2024













Building: GSF: Age: Address:

Davidson River School 18208 1945 (78 years) Addition/modular 2000 (23 years) 970 Ecusta Rd Brevard, NC 28712

Item No.	Condition Recommendation	Priority Category	Deficiency Category	Impact of Failure	Condition Probability of	Failure Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Onit Cost	2024	2025	ω 2026	2027	2028	م 2029	7	ω 2031	۵ 2032	7033	Required
Accessibilit	iy												fear	1	2	3	4	3	0	,	0	9	10	
Required 1	The main building was constructed before the implementation of the Americans with Disabilities Act (ADA). The modular and link were added after the implementation of the ADA Modifications have been made to achieve compliance where possible.																							\$0
Site System																								
Required 1	The building is surrounded by asphalt parking and break area surfaces. These are all showing signs of cracking with extensive alligator cracking of the surface, which indicated the substrate has failed. Mill and overlay asphalt paved sections due to surface deterioration	III	DM	4	2 3	5 5	14	Medium	30	2	1,400	SY	\$15		\$21,000									\$21,000
2	The building is surrounded by asphalt parking and break area surfaces. These are all showing signs of cracking with extensive alligator cracking of the surface, which indicated the substrate has failed. Re-pave and restripe parking/ play area paint.	III	DM	4	2 3	5	14	Medium	30	3	4,640	SY	\$2.00			\$9,280								\$9,280
3	The building is provided with tubular steel handrails and balustrades. The balustrades are in poor condition, with a corroded newel post adjacent to the building. Which should include priming and painting, galvanizing and resecuring post holes.	П	DM	2	2 2	3	9	High	30	1	95	LF	\$110	\$10,450										\$10,450
4	The building has various external concrete sidewalks, a concrete landings at the back of the modular classrooms, and a low retaining wall at the front of the property. In various locations localized repairs are necessary.	Ш	DM	4	3 4	5	16	Medium	30	2	1	ALLOW	\$20,000		\$20,000									\$20,000
5	A physical security assessment was provided by Safe Havens International. As part of their assessment, they identified areas around the site where additional fencing should be provided. It is recommended to budget an allowance for the installation of additional perimeter fencing per the Physical Security Assessment. Cost is a placeholder and could fluctuate.	≡	CI	3	3 4	4	14	Medium	15	2	400	LF	\$90.00		\$36,000									\$36,000
Structural S Required																								
1	The building structural systems appeared to be in good condition and should continued to be monitored. No anticipated capital expenditures.																							\$0











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Roofing Sys Required	stems 																								
1	The building is provided with an architectural asphalt shingled covered roof to all buildings. The age of the roof is unknown and likely over 10 years of age. Organic growth was noted to several areas which should be addressed as part of maintenance activities. Based on a typical useful life of 20 to 25 years it is recommended to budget for the replacement of the asphalt shingled roof in the mid to late term. Routine gutter maintenance and localized cleaning of shaded roof area as operational maintenance.	Replace asphalt shingle roof along with the gutters and downspouts.	IV	CR	4	4	4 4	1 16	Mediur	n 20	7	15,000	SF	\$6.00						\$9	90,000				\$90,000
Exterior Ele Required																									
1	Exterior elements of the original building consist of painted wood facias and soffits, with aluminum gutters and downpipes, and random stone faced walls. Openings are supported with steel lintels and fitted with vinyl and aluminum double pane windows, and aluminum and steel doors which are se in original wood frames, with original wood multi-pane single pane transoms above. Th stonework is in fair condition. However, all aspects of exterior paintwork, including handrails to steps, and overhanding soffits at roof areas is in poor condition.	Repaint and repair all exterior painted elements.	Ш	SM	4	4	3 4	1 15	Mediur	n 10	2	12,738	SF	\$3		\$38,214									\$38,214
2	The modular classrooms have a stucco exterior. This is in poor condition to the southwest elevation. We noted deterioration and hollow sections along the walls.	Remove damaged stucco and replace.	III	DM	4	4	3 4	1 15	Mediur	n 30	2	600	SF	\$15		\$9,000									\$9,000
3	Junctions between materials at the main building, such as at the permitter of windows and doors, are weather sealed with flexible sealant. The sealant is dried and brittle.	Remove aged and defective sealant joints and replace. Coordinate with painting project.	Ш	SM	4	4	3 4	1 15	Mediur	n 10	2	1,548	LF	\$10		\$15,480									\$15,480
Interiors Required																									
1	Interiors appeared to be typical finishes and fair condition for an educational establishment. Allowance for interior finishes renewal. Timing and scope will vary based on future program needs. Allowance only includes renewal of interior finishes and minor renovations of restrooms. Does not include reconfiguration of space or address items related to educational adequacy.	,	v	CR	5	3	5 5	5 18	Low	15	5	18,208	SF	\$80.00					\$1,456,640						\$1,456,640
2	In the basement, floors are generally finished with VCT. The VCT in two corner rooms is lifting and warped due to moisture in the floor slab.	Excavate external perimeter of affected rooms and install French drain.	III	DM	4	2	1 5	5 12	High	50	1	120	LF	\$150	\$18,000										\$18,000
3	In the basement, floors are generally finished with VCT. The VCT in two corner rooms is lifting and warped due to moisture in the floor slab.	Replace VCT flooring following water remediation work.	Ш	DM	4	2	1 5	5 12	High	50	1	108	SY	\$50	\$5,400										\$5,400











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Item No.	Condition	Recommendation	Priority	Deficiency Category	Impact of Failure	Condition Probability of	Failure Frequency of	Failure Risk Score	Risk Category	Estimated	Useful Life	Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	5029	2030	2031	2032	2033	Required
4	I WITH A VESTIDINE TO HIMIT CONTINUED ACCESS	Construct vestibules per Physical	II	CI	3	3 3	3 3	3 12	2 Hig	h		2	18,208	SF	\$3.00	1	\$54,624	3	4	5	6	7	8	9	10	\$54,624
Mechanic																										
Required							_	+			\perp															
1	A 3-ton ton York split system air conditioning unit manufactured in 2002/03 serves the corridor between original building and modular classrooms. The unit appeared to be in poor condition and has reached the end of its service life	Replace 3-ton split system unit.	III	CR	3	3 3	3 4	13	3 Hig	h 20	0	1	3	TON	\$2,800	\$8,400										\$8,400
2	Conditioned air for the modular class room is provided by a VTAC unit. It is recommended to replace the VTAC unit with a mini-split system similar to the second classroom.	Replace VTAC unit with mini split system.	111	CR	3	3 4	1 4	14	4 Medi	um 20	0	2	1	EA	\$7,500		\$7,500									\$7,500
3	The main building is provided with multiple Carrier split system cooling systems, ranging from 4 ton to 10 ton systems, all dating from 2013. All systems are in fair condition for age. It is recommended to budget for the replacement Carrier split systems during the study period.	Replace split system Carrier units.	III	CR	3	3 4	1 4	14	4 Medi	um 20	0	8	29	Ton	\$4,200								\$121,800			\$121,800
Electrical																										
Required 1	The building electrical systems appeared to be in fair condition and should remain operational throughout the term.	No anticipated capital expenditures.																								\$0
2	Access control systems appeared to be limited to electronic card access systems. It is recommended to expand access control and security systems throughout the school.	systems and school safety.	II	CI	2	3 3	3 4	12	2 Hig	h 20	0	2	18,208	SF	\$4.50		\$81,936									\$81,936
Plumbing																										
Required																										
1	The building plumbing systems appeared to be in fair condition and should remain operational throughout the term with ongoing preventative maintenance and replacements performed as needed by inhouse maintenance personnel.	No anticipated capital expenditures.																								\$0











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Davidson River School 18208

:	1945 (78 years) Addition/modular 2000 (23 year
ress:	970 Ecusta Rd
	Brevard, NC 28712

condition of the tank through annual testing code/regulation compliant storage tank. If the following and astern through annual testing results. If the following and testin								The second second			AND DESCRIPTIONS															
The school has one 10,000 galler underground storage tank which trace Nu. 2 and of the face Number of the school has good the same of the	Item No.	Condition	Recommendation	Priority Category	Deficiency	Failure	Probability of	Failure Frequency of Failure	Risk Score	Risk Category	Estimated Useful Life	Remaining Useful Life	Quantity	Unit of Measure	Unit Cost	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Required
underground storage task which stores No. 2 led ed. The task was reported by reading and active monitoring. An absolute the condition of the task flowing and active monitoring and southward for the same flowing and active monitoring. An absolute the condition of the task flowing and active monitoring and southward for the task flowing and southward flowing and sout															Year	1	2	3	4	5	6	7	8	9	10	
A fire detection and alarm system is provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm control panel and as needed devices. III	2	underground storage tank which stores No 2 fuel oil. The tank was reportedly installed in 1972 and reported to be a single wall typ tank. Based on the age of the tank it is recommended to continue to monitor the condition of the tank through annual testin and active monitoring. An allowance for removal of the tank has been provided; however, the timing will be driven by	nee Remove underground storage tank and install new above ground		CR	4 3	4	4	15	Medium	30	3	1	ALLOW	\$155,000			\$155,000								\$155,000
A fire detection and alarm system is provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm control panel and as needed devices. Dayrade the fire alarm control panel and as needed devices	Fire & Life Sa	afety																								
Provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm control panel and as needed devices III CR 2 3 3 5 13 High 25 2 1 EA \$15,000 \$15	Required																									
The building has no conveyance systems. N/A	1	provided within the building. The system was manufactured by Notifier but is now obsolete. Due to age and availability of components, we recommend budgeting an allowance to upgrade the fire alarm contro	and as needed devices	Ш	CR	2 3	3	5	13	High	25	2	1	EA	\$15,000		\$15,000									\$15,000
The building has no conveyance systems. N/A Since Priority Definition SM Scheduled Maintenance Critical C	Conveyance	Systems																								
Deficiency Definition SM Scheduled Maintenance II Protectional Critical (4-8) III Necessary / Not yet Critical Critical (4-16) IV Recommende IV IV Recommende IV IV Recommende I	Required																									
Currently Critical High High (9-13)	1	The building has no conveyance systems.	N/A																							\$0
Currently Critical High High (9-13)																										
Currently Critical Critical (4-8)	Deficien	cy Definition F	Priority Definition	Risk	Definit	ion										\$42,250	\$298,754	\$164,280	\$0	\$1,456,640	\$0	\$90,000	\$121,800	\$0	\$0	\$2,173,724
DM Deferred Maintenance CR Capital Renewal III Necessary / Not yet Critical IV Recommended Low Low (17-20)	SM	Scheduled Maintenance		Critical	Critical	(4-8)								12023	oo oo aaaaa						-		-	-	-	
CR Capital Renewal V Recommended V Appearance VI Does Not Meet Codes / Standards VI Does Not Meet Codes / Standard	DM	Deferred Maintenance		High	High (9)-13)											l					l				
EN Energy & Sustainability V Appearance VI Does Not Meet Codes / Standards Total Cost \$2.23 \$16.41 \$9.03 \$0.00 \$9.00 \$0.00 \$4.04 \$5.60 \$0.00 \$0.00 \$1.00 \$5.00 \$0.00	CR	Capital Renewal	N	Medium	Mediu	m (14-1	6)									\$45,630	\$348,467	\$206,945	\$0	\$1,688,645	\$0	\$110,689	\$154,293	\$0	\$0	\$2,554,668
10tal cost \$2.22 \$16.41 \$0.02 \$0.00	EN	Energy & Sustainability		Low	Low (1	7-20)																				
	CI	Capital Improvement	VI Does Not Meet Codes / Standards													\$2.32	\$16.41	\$9.02	\$0.00	\$80.00	\$0.00	\$4.94	\$6.69	\$0.00	\$0.00	\$119.38











Building: GSF: Age: Davidson River School

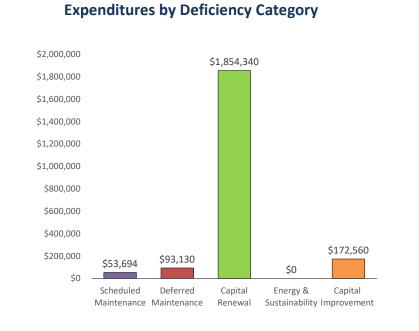
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Financial Summary





Summary by System	
Site Systems, Structural \$96,730 , 4% Systems, \$0 ,	
Interiors, \$1,534,664,71%	\$137,700 , 6% Electrical, \$81,936 , 4% Plumbing, \$155,000 , 7%
	Fire & Life Safety, \$15,000 , 1%

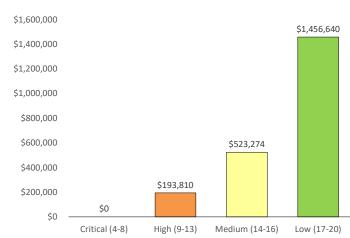


FCI Range	Condition Description
0.00 - 0.02	Excellent condition, typically new construction
0.02 - 0.05	Good Condition, renovations occur on schedule
0.05 - 0.1	Fair Condition, in need of normal renovation
0.1 – 0.2	Below average condition, major renovation required
0.2 – 0.5	Poor condition, total renovation needed
0.5 – 1	Complete facility replacement indicated

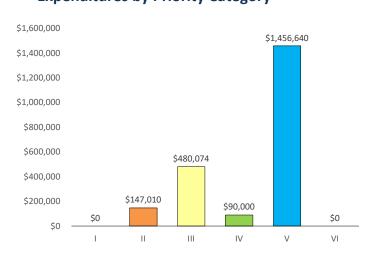
Risk	Definition
Critical	Critical (4-8)
High	High (9-13)
Medium	Medium (14-16)
Low	Low (17-20)

Priority	Definition
I	Currently Critical
П	Potentially Critical
Ш	Necessary / Not yet Critical
IV	Recommended
V	Appearance
VI	Does Not Meet Codes / Standards





Expenditures by Priority Category





Building: Davidson River School

1820

Age: 1945 (78 years) Addition/modular 2000 (23 years)

Address: 970 Ecusta Rd

Brevard, NC 28712

Representative Photos



Organic growth at ashpalt shingles.



Front view of signage and low retaining wall.



Stone faced walls and double pane aluminum and vinyl windows.



Exterior view of entrance ramp with guardrail.



Architectural wood frame structure.



Corroded lintel at exterior windows.



Alligator cracking of asphalt parking lot.



Stone face exterior and vinyl hung windows.



Deteriorated VCT flooring in basement floor.



Modular unit addition with stucco exterior.



Damaged wood soffit under roof.



Split system air conditioing unit from 2013.